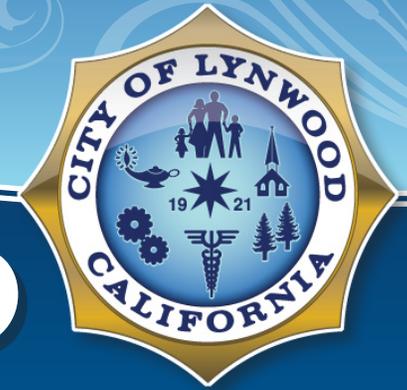


CITY OF LYNWOOD



Residential Design Guidelines

July 2013

Prepared by:



Hogle-Ireland



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The City of Lynwood would like to thank these individuals for their dedicated work and input into the creation of these standards.



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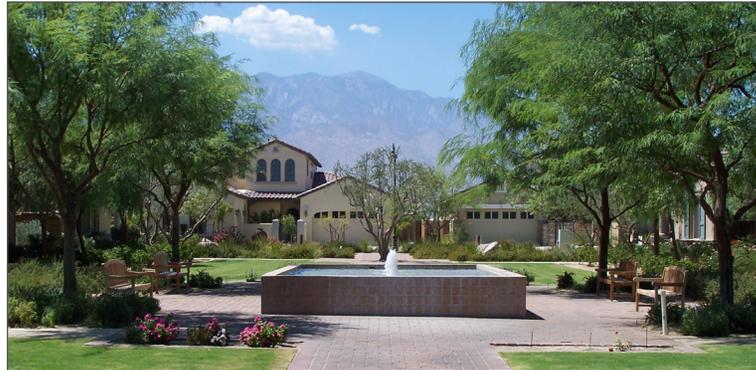
Purpose

The Residential Design Guidelines are intended to promote excellence in the design and development of new residential projects and rehabilitation of existing residential structures.

The following guiding principles were used as a basis for the development of the Design Guidelines;

- Implement the goals, and objectives of the General Plan;
- Contribute to a positive residential built environment and community identity through superior residential design;
- Provide guidance for the orderly development of the Residential area within the City of Lynwood;
- Supplement the Zoning Ordinance on matters of residential design;
- Maintain and enhance residential property values.

As presented these guidelines are intended to inspire residential development of lasting quality. This manual in conjunction with the City's Zoning Code and General Plan will serve as a guide for staff and city officials in reviewing proposed projects. Furthermore, these guidelines should be used as a starting point for the creative design process. Property owners and developers are encouraged to involve the Planning Division Staff in the design process prior to making a significant investment.





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Interpretation of Provisions

The residential design guidelines do not seek to impose a particular residential theme, color palette, or particular architectural style. These guidelines seek to guide residents in the development and rehabilitation of residential properties by promoting positive quality-based design that will have lasting and enduring appeal. These guidelines will serve to complement and further illustrate the mandatory development requirements through the illustration of preferred design solutions and expand through narrative the preferred development practices.

Furthermore, these guidelines serve to augment the existing development standards adopted and to aid in the interpretation of these mandatory development standards. In addition to promoting positive quality-based design these guidelines serve to promote “safety by design” and “green building techniques.”

Safety by design is a concept that encourages construction designers to “design out” health and safety risks during design development. The concept supports the view that along with quality and cost; safety is determined during the design stage.

Safety by design concept will be identified through the document with a flashlight icon. 🔦

Green Building techniques refer to a design concepts that incorporate building features and techniques that are environmentally responsible and resource-efficient throughout a building’s life-cycle: from siting and structure design, construction, operation, maintenance, renovation, and demolition. The common objective is that green buildings are designed to reduce the overall impact of the built environment on human health and the natural environment by efficiently using energy, water, and other resources; Protecting occupant health; and reducing waste, pollution and environmental degradation.

Green Building techniques will be identified throughout the document with a leaf icon. 🌿



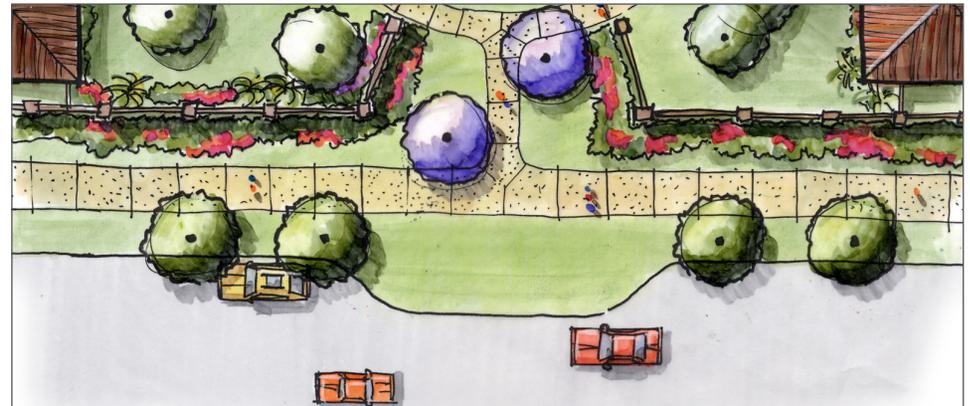


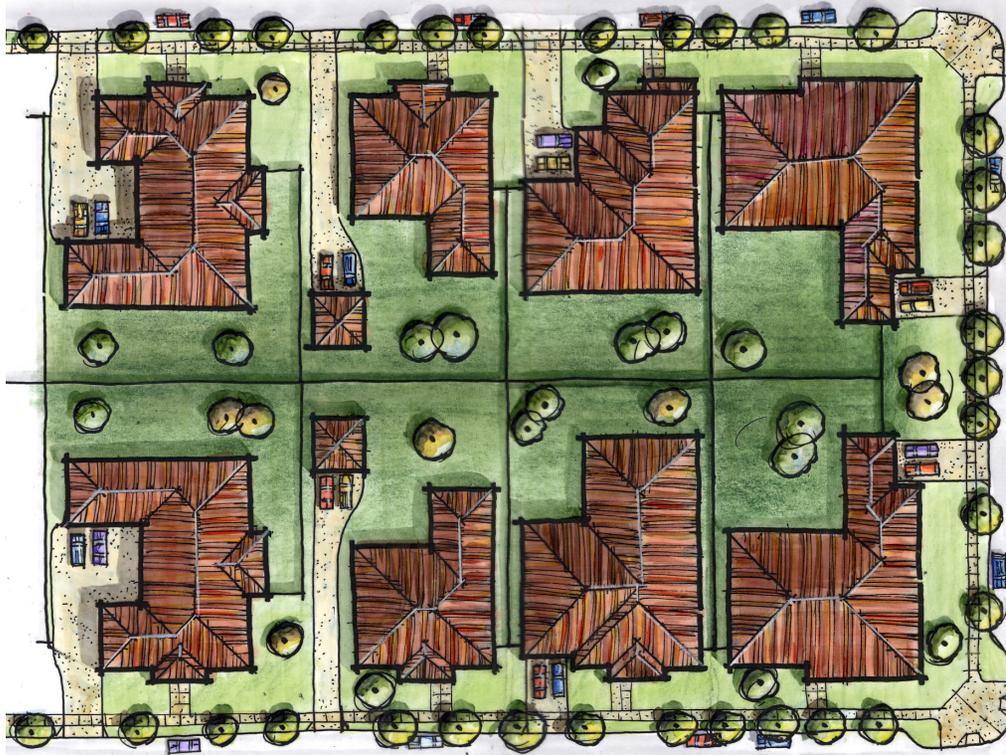
General Residential Guidelines

Guiding Principles

The following are the design principles that have been used in the development of these guidelines and will be used to evaluate plans and design of new structure as well as improvements and additions to existing structures.

1. Encourage a diversity of architectural styles while maintaining the architectural context of the neighborhood.
2. Reinforce the prevailing neighborhood development patterns.
3. Maintain home entries with strong visual connection to street frontage.
4. Avoid garages and carports that dominate the homes street frontage.
5. Relate the structures size and massing to those in the surrounding neighborhood paying special attention to adjacent structure size and massing.
6. Design with architectural integrity on all sides of the structure (360 architecture).
7. Relate auxiliary structures such as detached garages and second dwelling units to the architectural design and style of the main structure.
8. Use materials that are consistent or compatible with the neighborhood.
9. Use quality materials that maintain their appearance over time.





10. Select colors that blend with the context of the neighborhood and are earth tone in nature.
11. Preserve mature landscaping wherever possible.
12. Utilize roof forms and pitches similar to those in the immediate neighborhood.
13. Design street setbacks with sensitivity to the predominant street frontage character along the street.
14. When possible incorporate “Green” design features when constructing new residential developments or rehabbing. Such as passive cooling and efficient landscaping. 
15. When possible incorporate ‘Safety by Design’ techniques. (See page 43 for Safety by Design guidelines) 



General Residential Guidelines

Mass and Scale

Building mass is the visual perception of the size of a building, represented by the overall impact of its appearance. Multiple factors play into this appearance, such as distance from street; building setbacks from property lines; forms of the building; window patterning; color and texture of external surfaces; building size relative to neighboring lots; and, roof lines and predominant architectural features.

The following guidelines will ensure that the mass and scale of new homes and additions to existing homes are compatible with the surrounding neighborhood.

1. The physical size and mass of the project shall be proportional to the lot size.
2. The overall design of buildings shall be compatible with the scale and mass of surrounding properties.
3. Front façade detail that is varied and interesting rather than straight and continuous in a horizontal and/or vertical fashion.
4. Architectural elements shall be designed to eliminate the appearance of box-like buildings.
5. The scale and mass of new infill buildings shall be reduced by stepping down the building height toward the street and adjacent smaller structures.
6. Special design attention shall be directed to two-story facades when larger houses and additions are introduced into neighborhoods with homes smaller in scale and mass.



Inappropriate Usage of Mass and Scale



Appropriate Usage of Mass and Scale



Appropriate Usage of Mass and Scale



Setback Upper Story where adjacent to one story building to create an appropriate transition



Examples of structures with proper implementation of architectural features.

7. Flat walls of similar appearance (ex. all stucco) shall be avoided on two story homes or additions. Design features to break up the façade or create architectural breaks shall be incorporated. Setbacks on second story additions are strongly encouraged and shall be combined with existing roof angles to create a varied look. The use of building envelopes for second story additions or developments will help transition in a new development or redevelopment of a home so that mass and scale are not problematic.



General Residential Guidelines

Entries

The transition of public and private spaces between the street and the building is an important residential neighborhood characteristic.

- 1. Primary entrances are encouraged to face the street with a connecting walkway to the public sidewalk.
- 2. Provide a separate walkway from the sidewalk to the entry if that is the common pattern for adjacent and nearby homes. Avoid using the driveway as the walkway to the entry unless that is the norm for the neighborhood. In cases where the driveway is used, consider the use of modular pavers or decorative banding.
- 3. Entry columns, railing, steps, and lights are just a few elements that can be used to add individuality to a house. Entry elements may be visible from the street without the door necessarily facing the street.
- 4. Entries shall not be enclosed by security bars/gates but rather provide street presence to the home.



Examples of structures with properly designed entries that engage the street.



Preferred



Appropriate

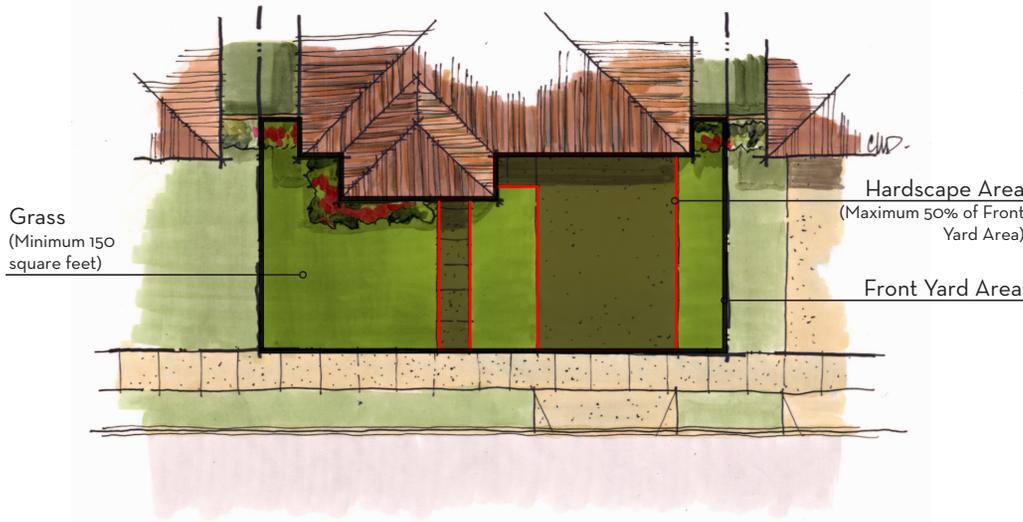


Discouraged



The purpose of landscape guidelines is to encourage landscape design that supports and complements the overall design intention and aesthetic qualities of a proposed residential development or rehabilitation. In general, landscaping is encouraged to be used to frame, soften and embellish the quality of the residential environment or to buffer incompatible uses or undesirable views.

Landscaping should provide aesthetic enhancement of a project site and shall consider the appropriate use of plant materials, proper plant spacing, and long term maintenance for each plant type. The following additional guidelines will assist in achieving these goals:



1. Reduce paved areas for driveways and areas fronting the street. Hard surfaces areas shall not be more than (50) percent of the front yard.
2. Residential rehabilitation projects shall use a minimum mix of forty (40) percent of up sized plant material in order to smoothly transition in the landscaping element with adjacent mature landscaping.
3. Turf/Grass areas shall be designed to be large enough to be usable. (Minimum 150 square feet). Alternatives to natural turf/grass are permitted including; certain types of artificial turf, bark, rocks, and various natural ground cover materials. (See staff for an approved list of permitted alternatives)
4. Planting design shall consider the ultimate size of the plant material.





General Residential Guidelines

Landscaping (continued)

5. All parkways shall be landscaped. All trees placed in parkways are to comply with the City list of trees per the Municipal Code and as described in the City's Master Tree Plan a permit is required from Public Works. In addition, per the municipal code, all parkways, including public right-of-way, are to be maintained by the immediate property owner.
6. Trees located on residential lots shall be utility friendly in terms of the height of the tree. Additionally, trees shall be selected and maintained in order to reduce fire susceptibility.
7. Impervious surfaces shall be minimized to reduce stormwater runoff.
8. In areas where paving is to be used, paving finishes shall complement the architectural style of buildings.
9. Enhanced paving is encouraged, which may include: stone, brick, pavers, exposed aggregate, and colored and textured concrete.
10. Finishes imitative of other materials, such as stamped concrete are discouraged. Paving shall be designed to enhance the relationship between the building and landscape.
11. Drought tolerant native plant species shall be used. See staff for an approved plant palette.

Paving shall be designed as an extension of the building architecture. It is recommended that paving areas visible from public view shall receive an enhanced finish and scoring. Enhanced paving is encouraged, which may include stone, brick, pavers, exposed aggregate, colored, and textured concrete.



Examples of enhanced landscaping and hardscaping treatments



Examples of structures with well articulated features incorporated into their facade.

Architectural features shall be utilized to provide façade articulation and break up blank, flat walls and roofs in order for buildings to convey a scale that is comfortable for pedestrians and provides visual interest. This articulation will serve to reduce the perceived mass of a building and give it a human scale.

1. Quality articulation and finishes shall be provided on all visible sides of buildings, with emphasis on front and entry facades. The breaking of mass can be accomplished through the use of window shutters, awnings, and stone enhancements.
2. Portions of upper floors shall be set back in order to scale down facades that face the street, common open space, and adjacent residential structures. Upper story setbacks are recommended either as full length “stepbacks” or partial indentations for upper story balconies, decks, and/or aesthetic setbacks.
3. Architectural elements such as, bay windows, recessed or projecting balconies, verandahs, balconies, porches and other elements that add visual interest, scale and character to the neighborhood are encouraged.
4. When possible landscaping shall be located in a manner that provides visual relief and helps emphasize façade articulation, such as in building recesses.



General Residential Guidelines

Roof Articulation

The roof design plays an important role in the sense of mass and scale of the building and in the architectural integrity of the building as a whole. The roof pitch and orientation also impact the transition between neighboring buildings.

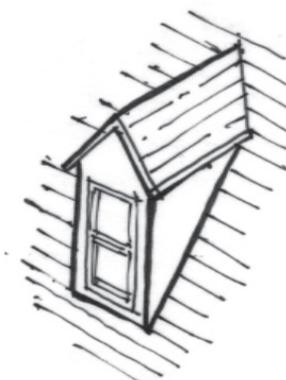
1. New roof designs shall be compatible with the existing neighborhood character, such as type, slope, size and materials, and color.
2. The use of traditional roof forms such as gables, hips, and dormers are encouraged. The use of “foreign” residential roof forms, such as geodesic domes, “A” frames and flat roofs are strongly discouraged.
3. Roof forms shall be consistent on all sides of the house and garage. All roofs shall have a similar pitch except for the limited use of flat roof.
4. Avoid box-like appearance through variation in the roof line and building elevations.
5. Vary roof lines through changes in height and form to break up massing. Long, single-ridge roof lines (over 30 feet long) are discouraged.
6. The style and form of roof additions to existing buildings shall be compatible, as appropriate, with the existing roof style and form, and the style, materials, and pitch shall be taken into consideration when designing a roof addition.
7. When possible maintain existing roof style in order to maintain the architectural character of the house.
8. When installing solar panels on the roof consideration shall be placed on roof orientation.
9. When designing a roof provide opportunities for natural ventilation, i.e. vents and cupolas.



Gable Roof



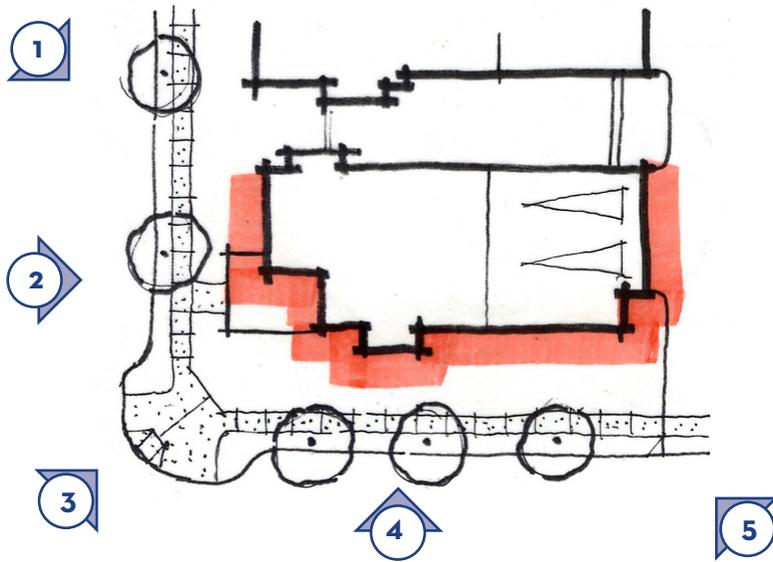
Hip Roof



Dormer

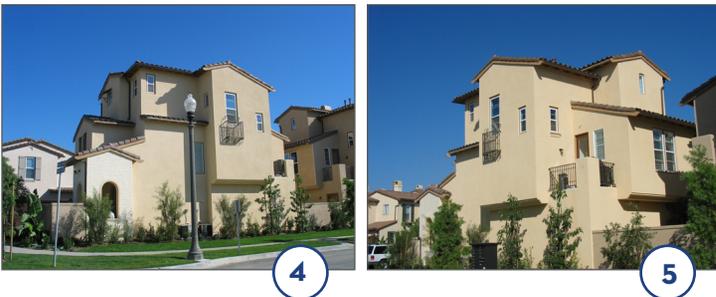


Example of incorporating various roof forms to break up vertical planes of typical single family residence.



Incorporate 360° architecture, which is the full articulation of all building façades, including variation in massing, roof forms and wall planes to create high quality neighborhoods.

1. Articulate side and rear façades in the same manner as the front façade, especially areas that are visible from a street or important viewshed.
2. Vary the form or footprint (by changing the wall plane) a minimum of 20 percent of the entire horizontal length of any building elevation by introducing architectural elements and/or projections and recesses.
3. Break up wall planes that run in one continuous direction for more than 50 feet without a significant offset.
4. Clearly identify primary entries with architectural elements such as porches and arcades.
 - Vary front setbacks within same structure;
 - Stagger and jog unit planes;
 - Vary building orientations.





General Residential Guidelines

360° Architecture (continued)

5. Surface detailing shall not serve as a substitute for well-integrated and dynamic massing and quality architectural design.
6. Distinguish dwelling units from one another by breaking up building massing through the following methods:
7. Provide accented or highly articulated windows
 - Bay windows projected at least 2 feet;
 - Windows recessed at least 1 foot;
 - Window awnings projected 2 feet.

on all sides consistent with architectural style and as suggested below:

8. Vary roof lines through the use of dormers, stepped roofs, gables, towers and other roof elements consistent with architectural style. Change height and direction of roof ridges to provide variation to roof.
9. Design usable porches and balconies with a minimum width of 6 feet.



Examples of structures with good 360-degree architecture.



Examples of structures incorporating a mix of finish materials and colors to enhance visual interest.



The overall pattern, texture, and color of materials have a significant effect on the scale, style, and character of the building. The following guidelines should be referred to when selecting materials. There is no requirement for City approval of colors for single-family homes.

Compatibility

1. Use non-reflective exterior materials and colors that complement and improve the neighborhood and are compatible with the architecture of the house.
2. Consider the exterior materials and colors used on neighboring houses; strive for complementary materials and colors on new and remodeled homes; avoid the use of materials and colors that are too similar, repetitive, or clashing.
3. Use warm, muted colors and natural appearing materials on the house that blend with the surrounding natural features when viewed from a distance. While earth tone colors are encouraged, along with darker colors used to reduce apparent mass, other colors may be appropriate based on the architecture, neighborhood and surrounding natural features.

Quality

4. Use exterior materials and colors that are of a similar or better quality of those used in the neighborhood and are consistent with the architecture of the house.



General Residential Guidelines

Colors and Materials (continued)

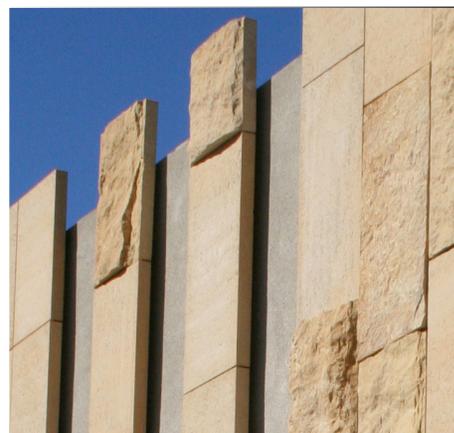
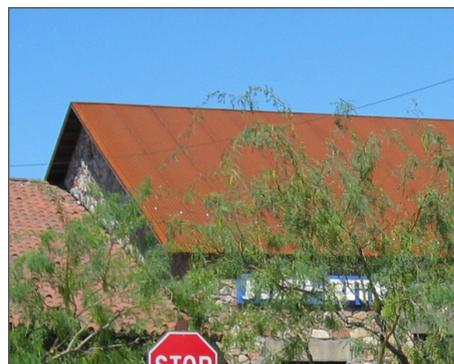
5. Consistent and harmonious use of high quality, durable materials is encouraged. Piecemeal embellishment and frequent changes in material is discouraged.
6. Environmentally-sound, or “green” building materials are encouraged and additional design consideration may be offered to accommodate solar panels, recycled materials, or other green products.

Quantity

7. Use a number of exterior materials and colors that is consistent with the neighborhood and the architectural style of the house.
8. Encourage the use of 3 or more colors on larger houses to reduce the appearance of bulk by emphasizing architectural features and trim.
9. Discourage the use of a single exterior material or color in a large unbroken surface.
10. Ornamentation - Use ornamentation or architectural details to reduce the appearance of bulk on larger homes. Apply ornamentation in a manner consistent with the style and size of the house; avoid using ornamentation in a manner that will make the house appear too plain or overly decorated.

Inappropriate Material

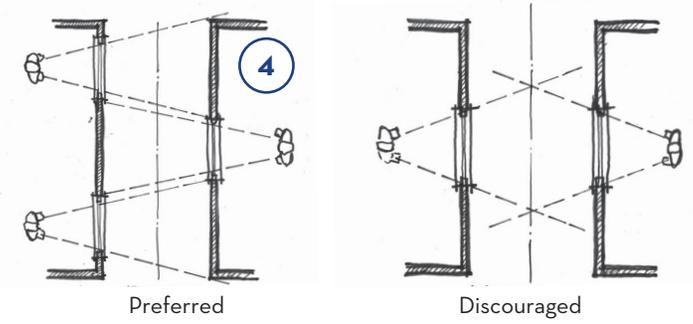
The use of certain materials is discouraged including; plastics, unfinished metal, corrugated fiberglass, corrugated sheet metal, or plywood.



Examples of preferred high quality finish materials such as; terra cotta roof tiles, exposed brick, slate, stone, and river rock.



1. Balconies shall face internal yard areas where feasible.
2. To reduce the amount of visual intrusion balconies shall not face neighboring properties.
3. Floors above the ground floor shall be setback from the exterior of the first floor by a minimum of 2 feet in the side yard.
4. Windows facing adjacent units shall be staggered to limit visibility into neighboring units
5. Where feasible landscaping shall be used to create privacy between adjacent lots.
6. The use of window shading such as shutters and awnings is encouraged to provide privacy as well as to provide passive cooling.
7. The installation of closed circuit televisions or onsite security systems shall be installed in a manner not be intrusive to adjacent property owners.



Examples of preferred and discouraged window alignments.



General Residential Guidelines

Walls and Fences

Walls and fences impact the street character of a neighborhood. Walls and fences are encouraged to be designed in such a manner as to create an attractive appearance to the street and to compliment the style and character of the homes and the neighborhood.

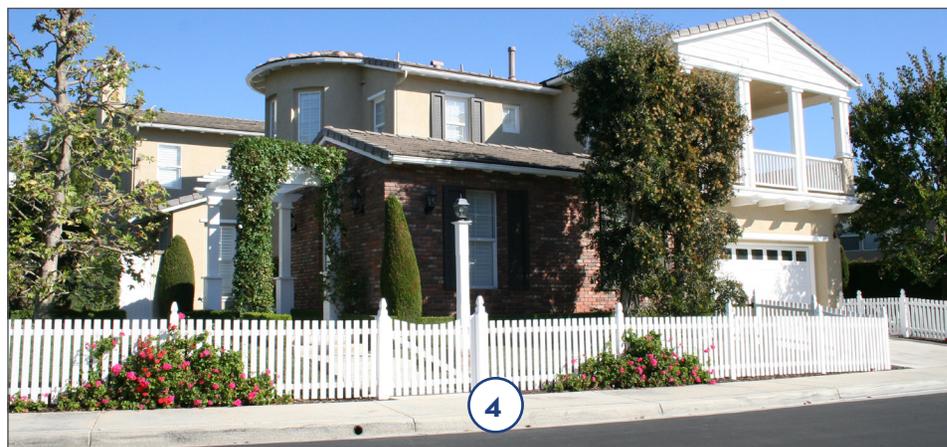
- 1. Front yard fencing for single family residential is encouraged to be as transparent as possible. Solid walls over 18-inches in height are strongly discouraged in the front yard. Particular attention shall be given to maintaining visibility for safety purposes on the portion of a corner lot abutting a street intersection. (See the Zoning Ordinance for fence height requirements)
- 2. Walls are encouraged to be made of decorative wrought iron, vinyl, masonry, wood, or a combination of both. Chain link or industrial fencing is prohibited in the front yard setback and on portions of a lot visible from the public right-of-way, and is strongly discouraged on other portions of the lot. (Wrought Iron fences shall not have spiked finials)
- 3. Side or rear walls that face a street or sidewalk are encouraged to be architecturally enhanced to include caps and corner details. In order to reduce graffiti wall and fences shall be decorative utilizing varied material; not smooth continuous surfaces.
- 4. Gates are encouraged to be provided in walls or fences located in the front yard setback to facilitate convenient access by residents and visitors.
- 5. Use pilasters or vertical landscaping to break up wall massing every 50 feet and reduce blank surfaces that encourage graffiti.
- 6. Use two (2) or more complementary wall materials and/or incorporate a visually interesting design on the wall surface.
- 7. Use block gate returns and opaque gates to screen trash enclosures from the front yard for residential homes.
- 8. Hedges which serve as fences, shall be maintained in a neat and orderly fashion.

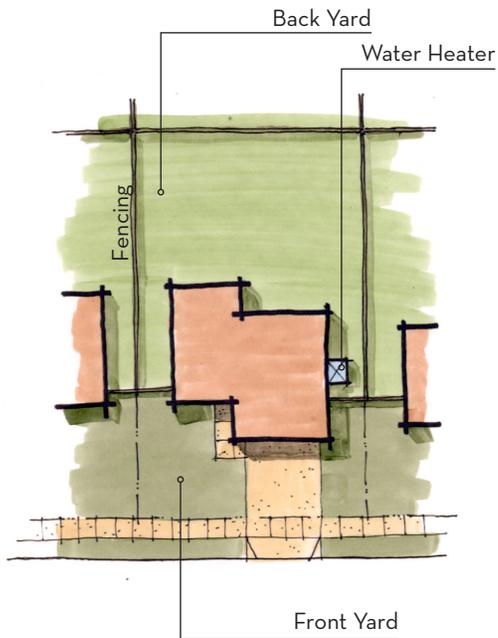


Wall Caps

Vertical Landscaping

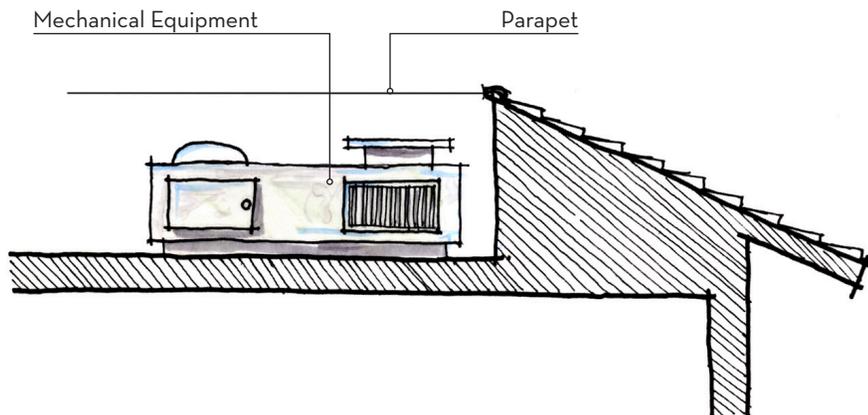
Pilasters





Ground Mounted

1. Mechanical equipment shall be screened from Public R.O.W. and common areas within the development.
2. All equipment shall be enclosed by an architecturally compatible structure.
3. When possible use of landscaping shall be used to help disguise an enclosure.
4. Use of sound insulating materials shall be used around equipment if feasible.
5. Cluster mechanical equipment when feasible.
6. Mechanical equipment shall be placed in the rear yard adjacent to the primary structure.
7. Mechanical equipment shall be located away from operable windows in sleeping areas (i.e. bedrooms).
8. Mechanical air intake equipment shall be placed away from street and parking lot areas when feasible to improve air quality.
9. Water heaters shall be installed within the building footprint where feasible. If placement is not feasible within footprint water heaters may be installed outside but must be placed within a staff approved enclosure.
10. Electrical boxes shall be placed at the rear of the property with power lines undergrounded when possible.



Roof Mounted

11. Roof mounted equipment shall be completely screened from ground and Public R.O.W. by architecturally compatible parapet.
12. Cluster mechanical equipment when feasible.



General Residential Guidelines

The location and style of exterior and interior lighting can have a significant impact on the design. An appropriate lighting plan will complement the home's design and provide adequate light and security for the subject site.

1. Choose exterior lighting that is architecturally integrated with the home's design, style, material and colors.
2. All exterior, landscape and site lighting shall be designed and located so that light and glare are directed away from neighbors and confined to the site. Low-level lighting directed toward the ground is encouraged.
3. Exterior lighting shall be minimized and designed with a specific activity in mind so that outdoor areas will be illuminated no more than is necessary to support the activity designated for that area.



4. In order to preserve energy; light fixtures shall incorporate dimmers, motion sensors, and timers.



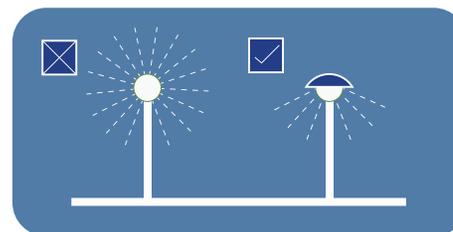
5. Low level bollard lighting shall be used to illuminate pathways.
6. Bollard lighting shall be architecturally compatible with the building architecture.
7. Parking area/driveway lighting shall be downward facing to reduce light impacts to surrounding areas not intended to be illuminated.
8. Parking area/driveway lighting shall be situated in a way which reduces light spillage off the site.
9. Parking area/driveway lighting shall be situated away from windows of residential units to reduce light impact to residents.
10. In areas of high occurrence of graffiti, place sufficient lighting to deter graffiti related activities.



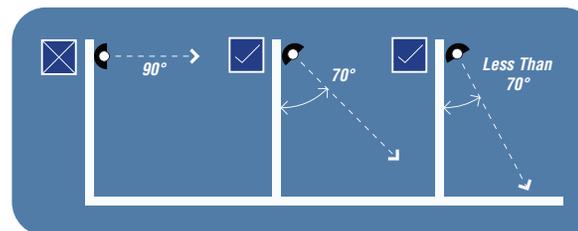
Not This:
Lighting is high intensity and is not confined to the site

Not This:
Light and glare extended in all directions, including up

Do This:
Low level light is directed toward the ground



When using freestanding light fixtures the light elements shall be screened to minimize light spillage and confine light to site and directed away from neighbors.



To minimize the light glare and spillage all wall mounted fixtures shall be oriented to angle towards the ground. The optimal angle shall be between 50-70 degrees.



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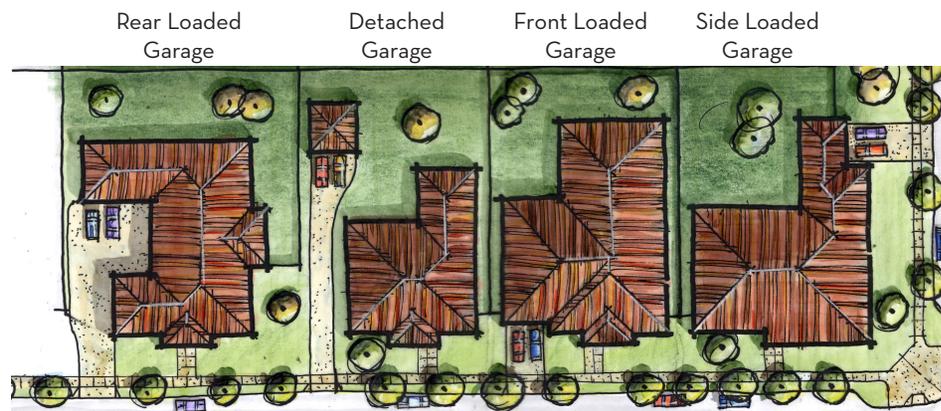


Single Family Residential and Duplex

Streetscape

Create an attractive, human-scaled residential streetscape that enhances aesthetic quality in a neighborhood and promotes pride of ownership.

Design the front yard area to emphasize attractive residential elements, by orienting entries, windows, porches and balconies toward the street. De-emphasize garages and accessory buildings by placing them to the rear of the property.



- 1. Include front porches, front windows, and balconies to maximize street presence.
- 2. Provide distinct entries and window treatments. Window types shall be consistent on all elevation of residence.
- 3. Reduce paved areas for driveways and areas fronting the street. Hard surface areas shall not be more than 50 percent of the front yard.
- 4. Encourage use of varied paving materials, open paver blocks, colors, etc. to reduce the negative visual impact that the hardscape may have on curb appeal.
- 5. Avoid repetitious placement of garages by varying garage placement.
- 6. Integrate garages and accessory buildings into the overall architectural design.
- 7. Use side or rear garage access when feasible.



Examples of the use of window treatments to accentuate the architectural aesthetics.



2
Varied
Setback



1. Unless impractical due to physical constraints, alleys shall be used for access to existing garages and for other functions such as garbage pickup.
2. Front setbacks shall vary to provide visual interest and avoid creating an atmosphere common to tract development.
3. Energy conservation shall be considered in the orientation of buildings (e.g. solar access, shade control).
4. Consideration shall be given for privacy relative to adjoining properties. Orient buildings and decks to maximize views while preserving privacy of surrounding neighbors.
5. Safe and efficient access to usable common open space shall be incorporated into housing developments.
6. Activity areas such as decks and balconies shall be placed to avoid negative impacts on neighbors.
7. Houses shall be oriented toward the street. Front porches are encouraged.





The front yard shall serve as a buffer between the street and the home, providing a visual break and an improved streetscape. Reducing paved surfaces provides additional benefits such as reducing flooding risks and protecting water quality. Reducing paving also provides opportunities for landscaping that softens the appearance of bulk. Pervious surfaces include materials such as mortar-less brick and unblock or turfblock where water can penetrate through to the soil.

1. The front yard hardscape coverage shall not exceed 50% of the front yard area.
2. Sufficient area shall be available for use of extensive landscaping in the front yard. Clear entry space sequences, extending from the public sidewalk to the private front door are encouraged.
3. Landscaping is encouraged to be used to frame, soften and embellish the quality of residential environment, or to buffer incompatible uses or undesirable views.

Notes:

- The removal of required landscaping in the front yard is not permitted.
- The front yard area is defined as the area within the front yard setback.
- Front yard lot coverage is determined by dividing the area of the front yard, which is occupied or covered by impervious areas, including paved driveways and walkways by the gross front yard area of that lot.

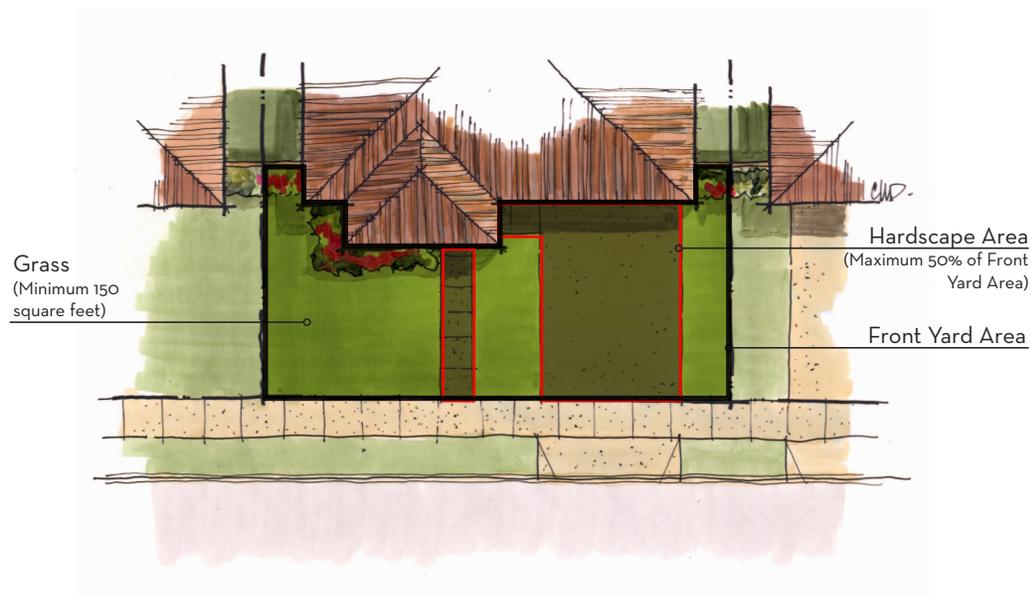
Examples of Pervious Surfaces

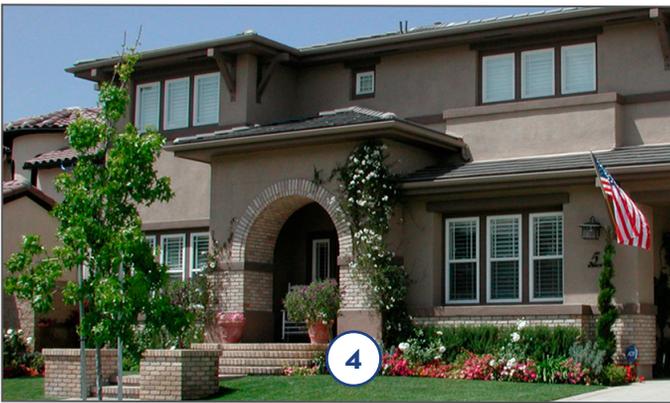


Mortar-less Brick



Unblock/Turfblock



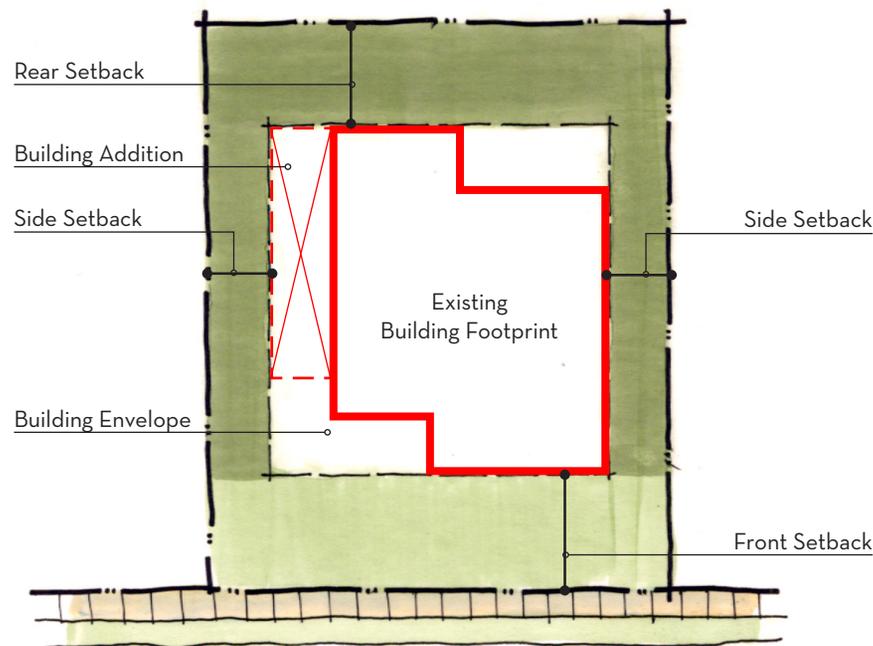


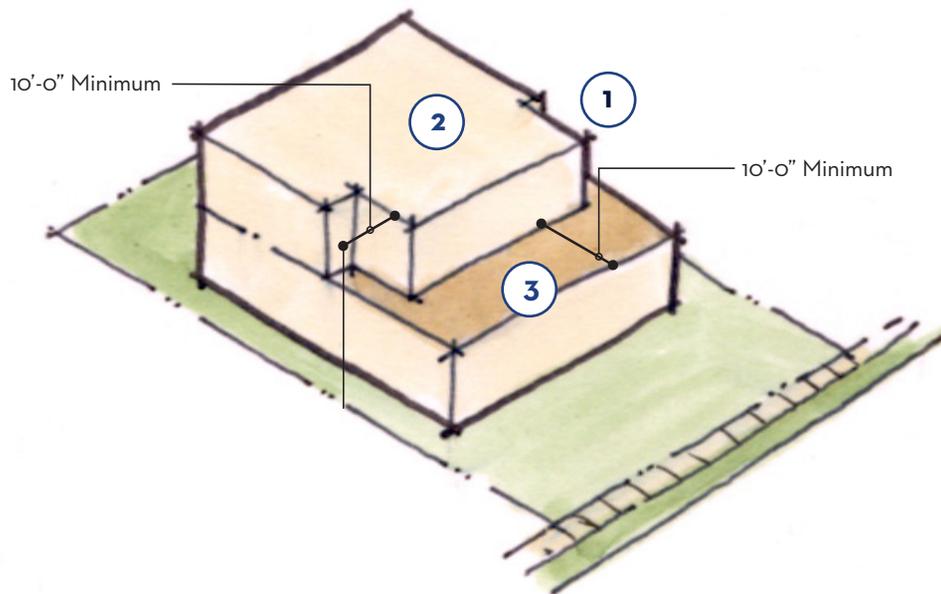
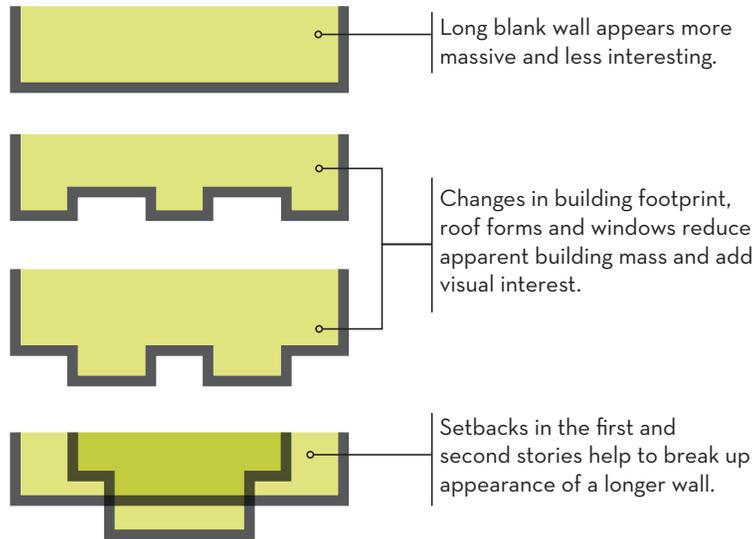
4. Provide distinct entries with the use of low walls and stepped approaches.
5. Reduce paved areas for driveways and areas fronting the street.
6. Encourage use of varied paving materials, open paver blocks, colors, etc. to reduce the negative visual impact that the hardscape may have on curb appeal.
7. Taper wider driveways to a standard 2 car width at street to allow for landscaping.



Established front and side yard setbacks in a neighborhood shall be observed and followed for the placement of new homes and existing home remodels even if it is more restrictive than the Zoning Code. Following the existing setback patterns will preserve the unity of the neighborhood and ensure new development does not disrupt the existing character.

1. At a minimum, setbacks must conform to the standards of the applicable zoning district.
2. Front setbacks shall be similar to the average of existing front setbacks on the block or on adjacent properties.
3. When proposing an addition or legalizing existing construction, the addition must meet current setback requirements.
4. Architectural projections such as fireplaces, eaves, and patio covers may encroach into setbacks as permitted.





All new 2-story homes and second story additions shall minimize structural massing on the second floor.

Special attention must be given to second floor massing in neighborhood predominately single-story. Two story homes shall avoid monumental forms, large masses and significant variations in height.

1. Second stories shall be stepped back from the first floor wall plane on at least two sides. On corner lots, the second story wall planes shall be stepped back from the first floor wall planes along the street frontages.
2. Second-story floor areas shall not exceed 80% of the first-story floor area (including garage area, if attached).
3. The second-story interior side building elevation shall be set back an average of 10 feet, but shall be no closer than 5 feet from the side property line. Exception: This requirement would not apply to the following:
 - Second-story construction that is consistent with the prevailing two-story design within the same residential tract.
 - Second-story additions to existing residences with current side yard setbacks that are less than 10 feet, provided that the current width of the side yard is not further decreased. A minimum 5-foot setback shall be required.

Note:

In addition to the above-stated setback, second-story construction shall use additional design techniques to provide visual relief to the side yard. This includes, but is not limited to: horizontal and/or vertical plane breaks, roof plane breaks, and varied roof forms, limiting the length of the second story, and appropriate architectural details.



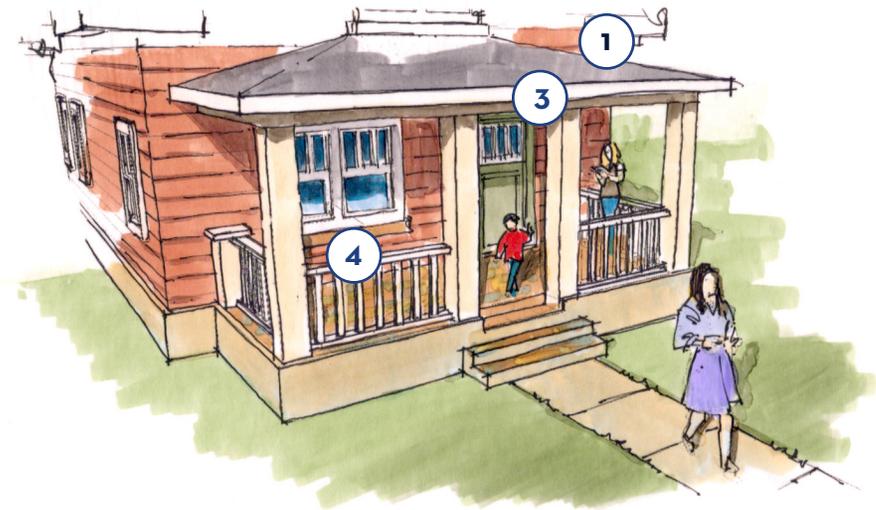
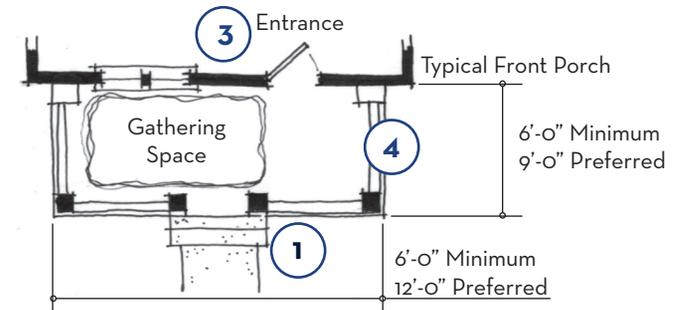
Single Family Residential and Duplex

Porches

The front porch is an essential facet of the neighborhood. It helps to create a transition between the private and public environments, belonging to the household while being open to the passersby. A porch helps to give the house its personal scale and animates the live of the street.

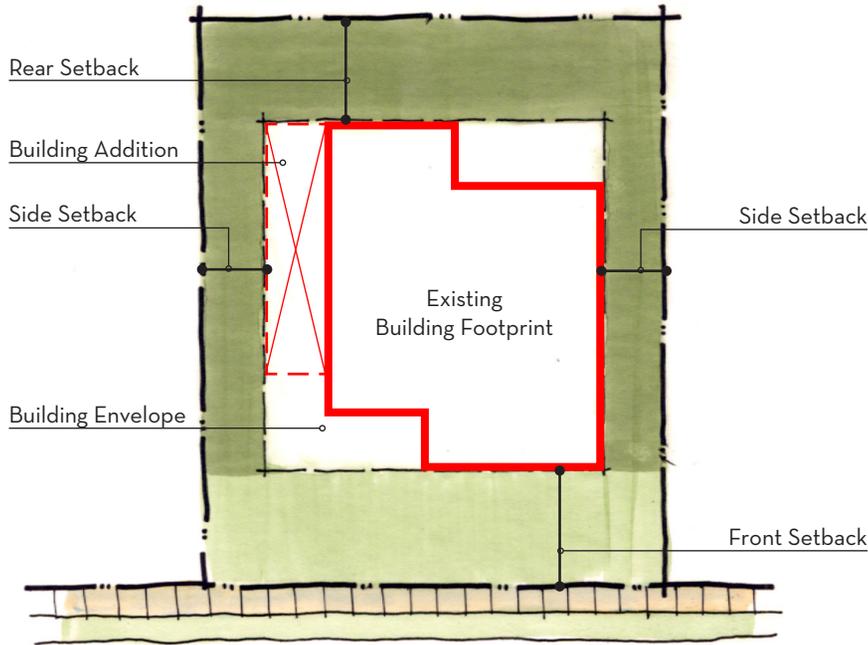


1. A front porch shall be part of the primary entrance, connected to the front yard and in full view of the street or public right-of-way.
2. Porches shall be a minimum depth of six (6) feet by five (5) feet. Nine (9) feet deep by 12' long is ideal.
3. The passage to the front door shall not be in the middle but to the side of the porch to maximize the gathering space. The front door shall only be placed in the middle if the porch is 10' or more in length.
4. The porch shall have railing to help define the space, twenty (27) inches to thirty (30) inches high with open rungs to create a more open and inviting environment.
5. Porches that are designed like patio covers are not acceptable. Porches shall complement the architectural design and character of the residence.
6. Posts shall be in proportion to the mass and scale of the residence.
7. Porches shall not be enclosed or fortified.





Exterior Requirements



1. Site additions in the least conspicuous place. In many cases this is a rear or side elevation.
2. The existing built forms, components and materials shall be reinforced. Heights and proportions of additions and alterations shall be consistent with and continue the original architectural style and design.
3. Additions shall be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
4. Avoid second story additions that are architecturally independent of the first story. Additions shall be integrated into the existing architectural design of the residence.
5. Additions at rear must maintain garage clearances in order to allow access to garage.
6. Existing garages cannot be utilized as room additions without providing the required 2-car garage parking somewhere on the property. (See staff for more information regarding the conversion of garages and on-site parking requirements)

Note:

When an addition or remodel requires the use of newly constructed exterior elements, they shall be identical in size, dimension, shape and location as the original, and shall utilize the same materials as the existing protected exterior elements.



Internal Requirements

1. Provide equal amount of private and public space.
2. Bedroom to bedroom access is not permitted. Bedrooms must be connected by a common corridor.
3. Additions that are conducive to illegal second units or independent of primary residence are discouraged.
4. Exterior “single-entry” doors from bedrooms are not permitted. Patio or French door are permitted.
5. Access to second story additions must be provided via internal stairways.
6. When proposing an additions it is recommended that universal design concepts be utilized to provide accessible features.

Special Consideration shall be given to:

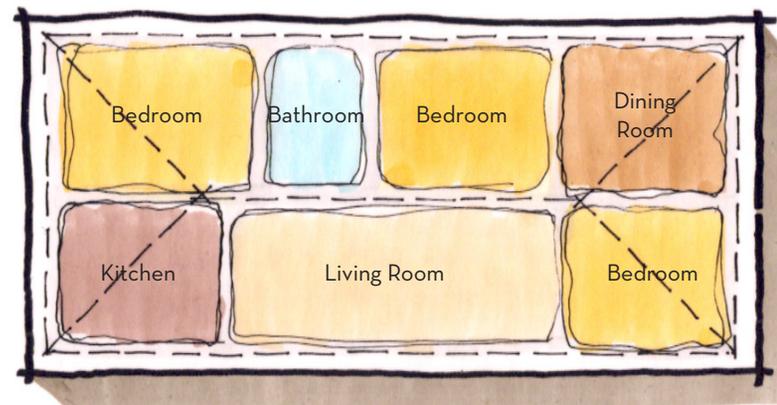
- Accessible entrance and egress routes
- Size and position of doors.
- Height of wall switches, thermostats, and electrical outlets.
- The incorporation of grab bars in bathrooms.
- General internal space planning consideration to accommodate wheelchair bound individuals.

Note:

Universal design refers to the concept of designing environments to be used by all people, to the greatest extent possible, without the need for adaptation or specialized design.



Appropriate: Common rooms grouped together



Inappropriate: Common rooms not grouped together



Examples of appropriate incorporation of second story balconies.

Balconies & Roof Decks should fit the existing architectural style of the structure and be integrated into the design of the structure.

Balconies

1. Shall be oriented away from neighbors yards as much as possible to maintain privacy.
2. Shall be stepped back from the building edge above the first floor.
3. Shall use appropriate screening measures to reduce privacy invasion (i.e. solid railing walls, latticework and landscaping).

Roof Decks

1. Roof decks shall be limited to the rear yard.
2. Roof decks over non habitable spaces (garages) is strongly discouraged.

Notes:

Spas, hot tubs and similar equipment are discouraged over the first floor, on balconies or second story or roof decks if visible from adjacent properties.

Balconies or roof decks shall not serve as personal storage space.

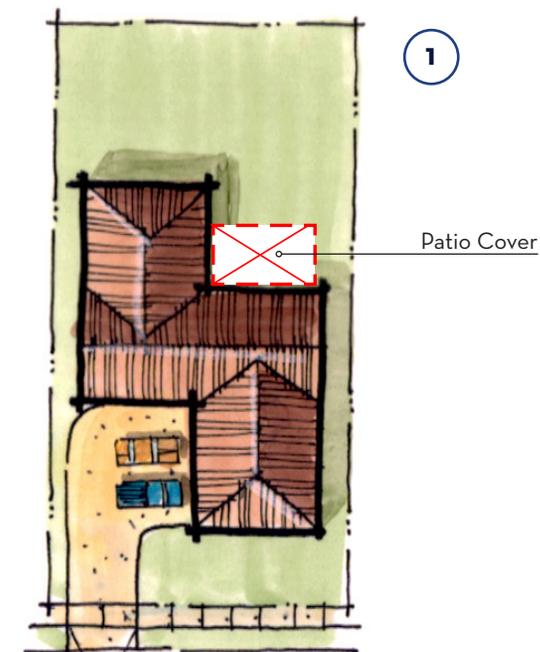


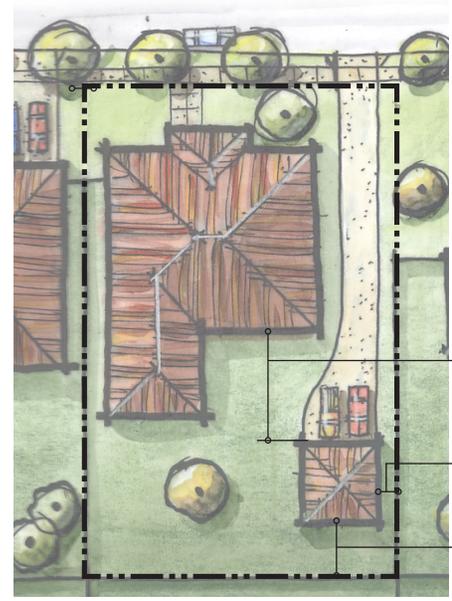
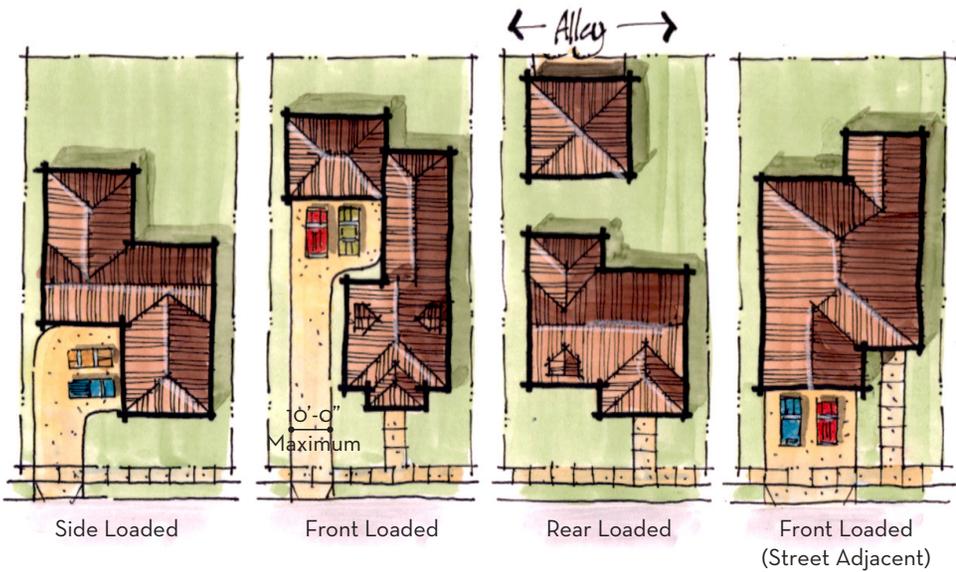
Single Family Residential and Duplex

Patio Covers

Patio covers shall be designed to be compatible with the existing structure in style, color, materials, and scale.

1. Patio covers shall be located in the rear yard of the lot to avoid visibility from public right of way.
2. When adjacent to a street side yard, patio covers shall be located and designed in a manner that minimizes visibility.
3. Patio covers must remain open on a minimum of two (2) sides.
4. To reduce summer heat and encourage passive cooling lattice/open roofs are preferred.
5. Construction materials shall be durable and high quality. Sheet metal roofs are not permitted.
6. Patio covers are not permitted in front of garages.
7. Patio covers must comply with required setbacks.
8. Covered patios shall not be higher than existing residence or exceed 12'-0" tall.





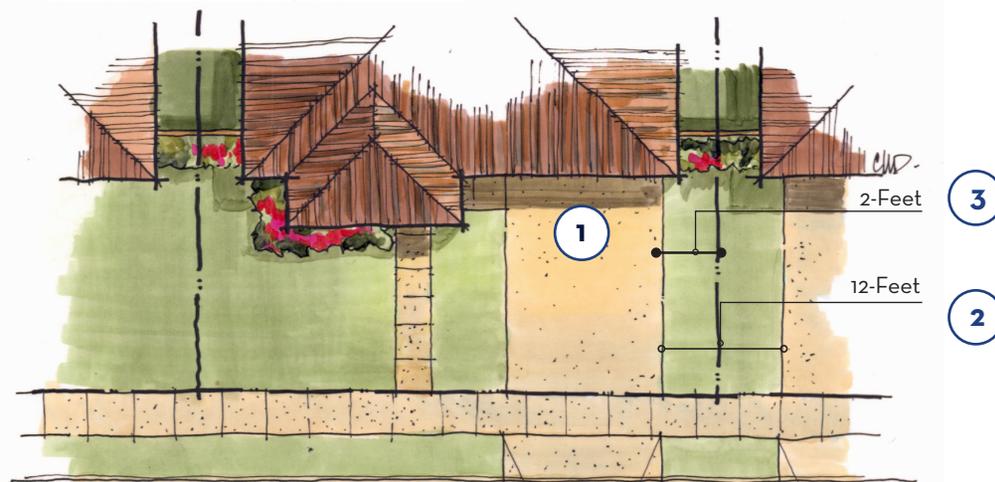
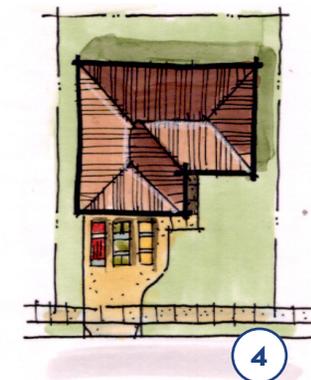
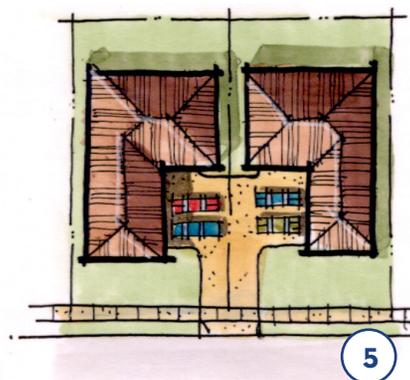
1. Street frontage dominated by front loaded garages discourages sense of people friendly neighborhoods.
2. Detached Garages are preferred. Detached garages shall be located in the rear 1/3 of the property. Driveways to detached garages shall be no more than 10 feet wide.
3. Design and placement shall diminish the visual impact of garage doors along street frontages
4. Garages are discouraged from facing the street. If garage door must face the street then doors with windows or architectural detailing consistent with the main dwelling is strongly encouraged.
5. Side loaded garages may be considered an alternative to diminish the impact of garages along the street frontage.
6. Carports are permitted as described in the Lynwood Municipal Code, but may not substitute garage placement.
7. No bathrooms are permitted in required garages.



Single Family Residential and Duplex

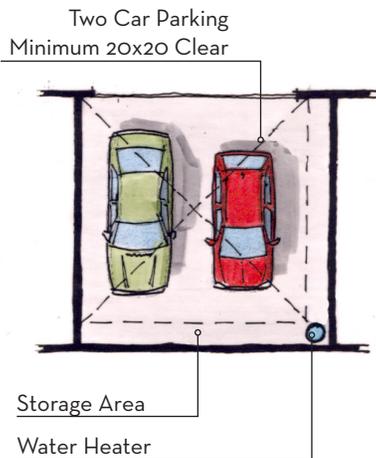
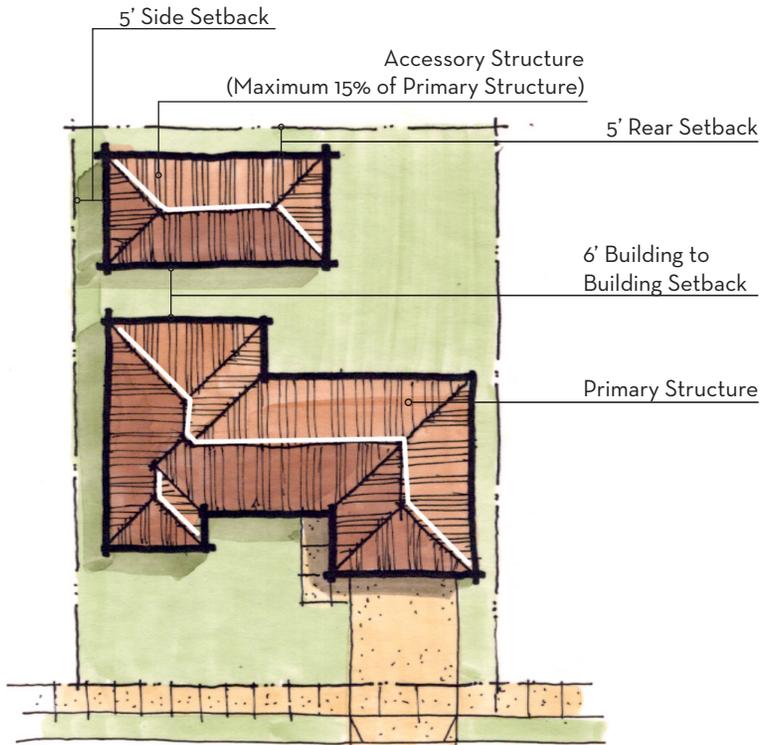
Driveway Guidelines

1. Driveways must lead to garages.
2. Adequate space is encouraged between two adjacent driveways. Adjacent driveways shall be at least 12-feet apart.
3. Where feasible a minimum 2-foot planter shall be provided between the side property line and the driveway.
4. Taper wider driveways to a standard 2 car width at street to allow for landscaping.
5. Use shared driveways among clustered units.
6. Where curb cuts are necessary, minimizing curb cut widths is encouraged. Driveway widths shall be kept to a minimum to lessen the appearance of bulk and mass.
7. No more than one curb cut per residential lot shall be permitted along the same street frontage.
8. The use of alternative materials in place of asphalt or concrete to pave driveways is encouraged to reduce impervious surface.
9. Driveways on corner lots shall be located as far as possible from the street intersection.



Accessory Structures (attached/detached)

Single Family Residential and Duplex



Incorporate well-located and well-designed accessory structures and utilities into the fabric of the property. Build accessory structures, such as trash enclosures and storage buildings, to match the architectural style of the residence and screen utilities from public view.

1. Design accessory structures consistent with the overall architectural style of the neighborhood.
2. Use high quality materials and finishes for accessory structures.
3. Accessory structures must maintain a minimum five (5) feet setback from property lines.
4. Detached accessory structures must be a minimum six (6) feet from the primary residence.
5. Accessory structures cannot be used as housing, play rooms or workshops.
6. Accessory structures cannot contain bathrooms.
7. The maximum size of any accessory structure in a single family residential area can not exceed 15% of the primary residence.
8. Lot coverage must comply with zoning requirements when adding accessory structures.
9. Laundry facilities shall be located within the primary residence, garage, or enclosed area and shall not be visible from the public right-of-way. Garages with laundry facilities shall maintain a 20x20 interior space in order to accommodate the required 2-car parking.



Single Family Residential and Duplex

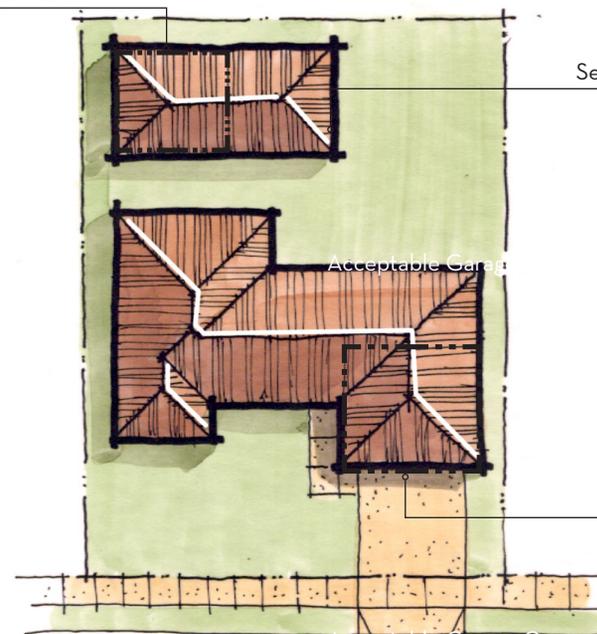
Second Dwelling Units

1. Second dwelling units are permitted in single-family residential zones pursuant to the Lynwood Municipal Code.
2. The lot must contain a primary single-family dwelling.
3. The unit can be attached or detached to the primary dwelling.
4. Second units are subject to the same development standards as the primary dwelling unit.
5. Second units must be architecturally compatible with the main dwelling unit in regards to roof style, building materials, and windows.
6. The second unit shall not be larger than the primary residence or 1,200 square feet.
7. Second units are not intended for sale but may be rented.
8. A two-car garage is required for second dwelling units.
9. The applicant shall be owner-occupant of the property and the owner of the parcel shall reside in either the primary dwelling or the unit.
10. The unit shall have an adequate water supply and sewage disposal capability.
11. Second units can be located above garage. Stairs shall not be visible from street.

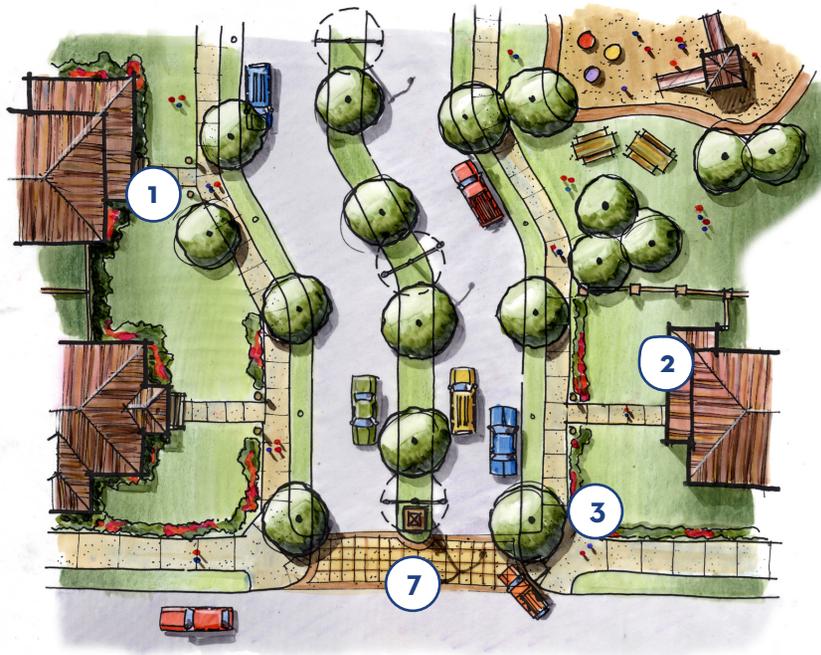


Second unit above detached garage

Two-car garage

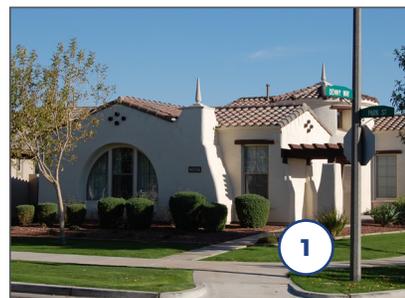


Second unit above garage



Designing security features into residential neighborhoods can reduce opportunities for criminal behavior and help to create a sense of community.

1. Move the houses closer to the street and use front porches and balconies to encourage more neighbor interaction, and to provide increased surveillance of public spaces. 
2. Use front porches or stoops to create a transitional area between the street and the house, emphasizing territorial control of the property owner. 
3. Install windows on all sides of the house with full views of the property and recreation areas to increase surveillance. 
4. Define private areas with fences or landscaping, contributing to territorial control. 
5. Use walkways and landscaping to provide access control, directing visitors to proper entrances and away from private areas. 
6. Use internally-lit addresses to make it easier for emergency services to find the location or install reflective colored address numbers. 
7. Use paving treatments, plantings and design features, such as raised planters or monuments bearing the community name, to define the boundaries of the neighborhood and establish a sense of control of the area by the residents. 
8. Security bars are discouraged along the front facade of residence. 



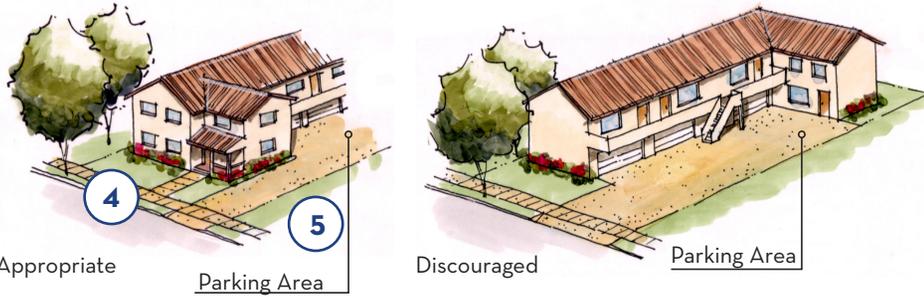


Multi-Family and Apartments

Building Placement and Orientation

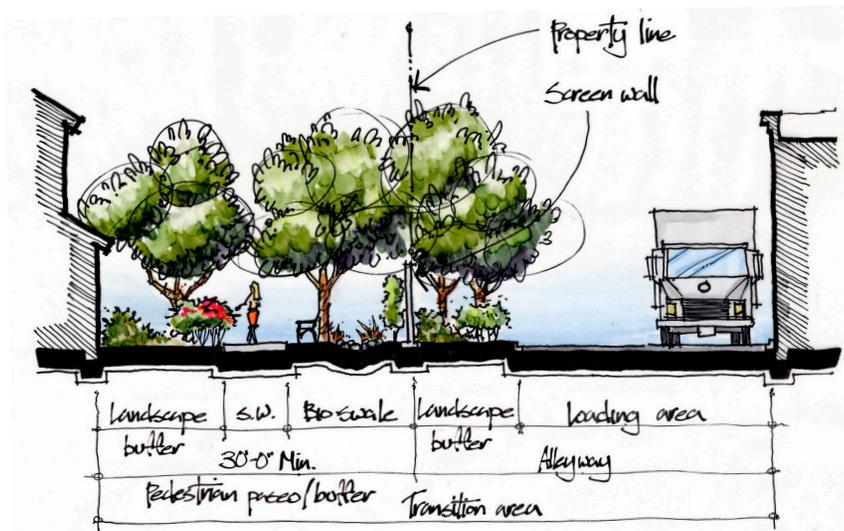
1. Appropriate building placement shall be used to reduce the perception of bulk, maximize open space, increase pervious areas and provide community-gathering spaces.
2. Buildings shall be generally oriented parallel to streets with varying setbacks to provide visual interest and reduce the appearance of bulk, especially when adjacent to single family residential.
3. Clustering of multi-family units shall be a consistent site planning element. Large projects shall be broken up into groups of structures.
4. Buildings shall be oriented to take advantage of prevailing breezes and direction of the sun in order to provide natural lighting and ventilation for open spaces.





Single Family Residential

1. In the development of new and renovated buildings, special care shall be provided to properties located in neighborhoods predominantly occupied by low density single family home.
2. Where the neighborhood has a recognizable architectural theme, style, or character, it shall be strongly considered for incorporation into the design of the development.
3. New and renovated buildings shall be developed in a manner that is compatible with the design, placement, and scale of the existing neighborhood.
4. Along the front portion of the lot, living areas and front doors shall be located on the ground floor facing the street.
5. Front portion of the buildings that face the street shall be designed in a manner that helps to screen parking areas .



Commercial

1. Multi-family projects shall incorporate pedestrian connections to adjoining commercial areas.
2. Windows for living areas shall be located in manner the limits potential impacts from commercial lighting and ambient noise and to enhance privacy.
3. Open space areas and landscaping shall be used as a buffer/transition between multi-family and commercial areas.



Multi-Family and Apartments

Site Amenities

1. Site amenities above and beyond providing open space area shall be provided for all developments with more than eight units.
2. Site amenities include but are not limited to the following:
 - Playground area
 - Swimming pool and spa
 - Gym
 - Community room
 - Tennis courts
 - Open grass areas for activities, and
 - Barbecues areas with tables and chairs
3. Site amenities shall be located central to the project minimizing distance for each unit to the amenity.
4. Site amenities shall not be located in a way that requires residents to walk through parking lot or drive aisle areas when feasible.
5. Connecting areas shall be well illuminated with pedestrian oriented lighting for safety.





Provide public spaces that are accessible to the passing public and provide private spaces that are available only to the residents of the site.

1. Design public and private spaces to be clearly recognizable as “public” (e.g., a plaza within view of a street or other public space) and publicly accessible and private spaces to be clearly recognizable as “private” through the use of security gates and signage.
2. Screen private areas from public view through the use of landscaping, walls and fences, and changes in elevation.
3. Provide areas for informal meetings and social interaction with other people for active and passive uses.
4. Design or locate spaces to ensure that they are usable year-round by providing areas that have awnings, wind breaks, sun shades, and/or landscaping that can provide shelter from the elements.
5. Provide an overall theme and visual connection between spaces and uses within the development.
6. Provide pedestrian linkages throughout the development and adjacent land uses.
7. Create a pleasant pedestrian environment.
8. Energize commercial retail activity.





Multi-Family and Apartments

Location of Parking Facilities/Carports



1. To maintain the look and feel of a single family neighborhood, parking areas if not contained within a garage shall be located to the side and rear of the property where feasible.
2. Parking areas shall not abut against property lines adjoining single family homes if possible.
3. Parking shall be located to the outside of the site allowing a clustering of residential units and to help create unobstructed common areas towards the center of the property.
4. Locate parking access as far as possible from street intersections to allow for adequate access.
5. Design on-site circulation systems to minimize pedestrian and vehicle conflicts.



Trash Enclosure Design

1. Trash enclosures shall be designed to be architecturally compatible with the residential buildings.
2. Trash enclosures shall have a roof structure (trellis, solid, etc.) to screen the view from any upper story units.
3. Enclosures shall not be visibly permeable.
4. When possible use of landscaping shall be used to help disguise an enclosure and reduce graffiti.
5. All enclosure must provide secure locking mechanisms.

Trash Enclosure Placement

1. Trash enclosures shall be easily accessible by the trash hauler.
2. Trash areas shall be located away from any operable windows.
3. Trash areas shall not be located adjacent to any neighboring single family residential uses.
4. Trash enclosures shall be dispersed when the site is large enough in order to provide convenient access for all residential units.





Multi-Family and Apartments

“Safety by Design” Concepts



Create safe dwelling places through limited access to properties, effective surveillance, and a sense of ownership and responsibility.

1. Orient buildings so that the windows, doors, and garages of one unit are visible from those of other units to increase surveillance opportunities.
2. Make open space and recreation areas visible from residential windows and doors, providing improved surveillance for those areas.
3. Use walkways and landscaping to provide access control, directing visitors to proper entrances and away from private areas.
4. Provide improved security and surveillance through exterior doors that are well-lit and visible to the street and neighbors.
5. Provide amenities that allow for a variety of activities that can be viewed by neighboring residents.
6. Avoid dead-end alleys.





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